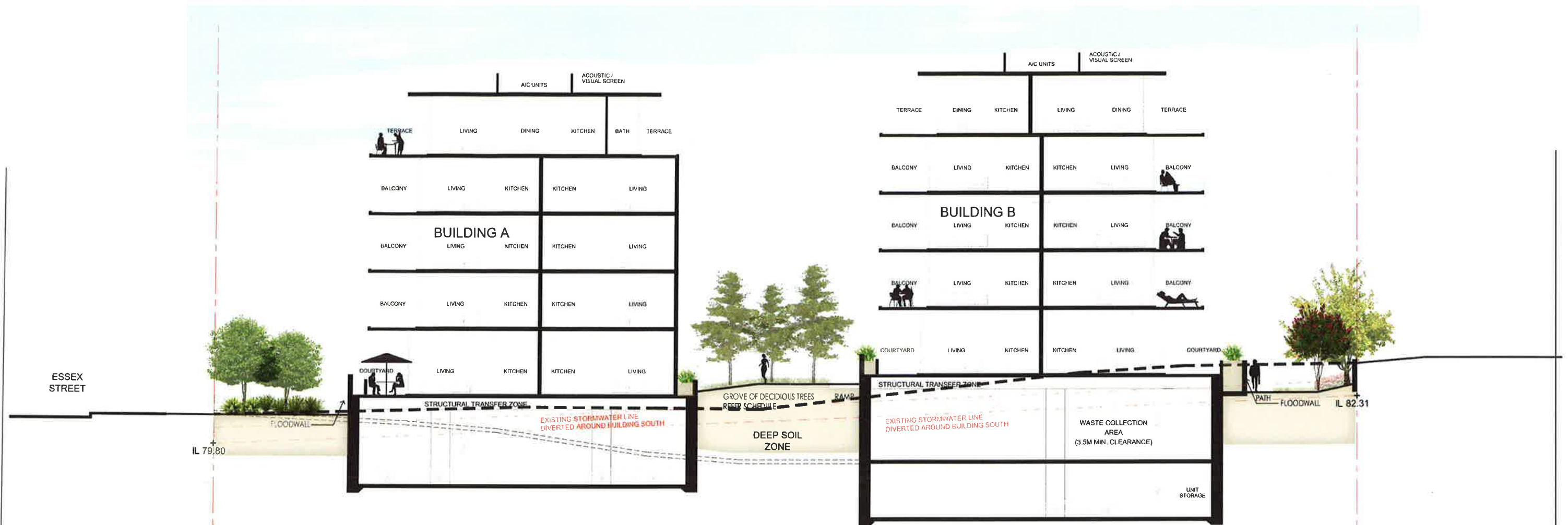


LOCALITY PLAN

DA/1266/2015

22-26B Essex Street, Epping

[illegible]



SECTION A-A

Courtyard & Front Gardens Planting Schedule 22-26 Essex St EPPING

Symbol	Botanic Name	Common Name	Size in Context 15-20 yrs (height x width)(m)	Installation Pot Size	Native	Evergreen	Deciduous
Proposed Trees							
Cap ana	<i>Cupaniopsis anacardioides</i>	Tuckeroo	10x5	100L	Y	Y	
Ace atr	<i>Acer palmatum 'Atropurpureum'</i>	Purple Acer	3x4	45L			Y
Jac mim	<i>Jacaranda mimosifolia</i>	Jacaranda	10x8	100L			Y
Tri Lus	<i>Tristanopsis laurina 'Luscious'</i>	Water Gum	6x4	100L	Y	Y	
Fra gir	<i>Fraxinus griffithii</i>	Evergreen Ash	7x4	45L	N	Y	
Gin bil	<i>Ginkgo biloba</i>	Maiden Hair Tree	10x8	100L	N		Y
Gle tri	<i>Gleditsia triacanthos</i>	Honey Locust	12x7	100L	N		Y
Lag hop	<i>Lagerstroemia indica x fauriei 'Sioux'</i>	Crepe Myrtle	6x4	100L			
Lag nat	<i>Lagerstroemia indica x fauriei 'Natchez'</i>	Crepe Myrtle	6x4	200L	N		Y
Meg vul	<i>Magnolia 'Vulcan'</i>	Magnolia Vulcan	5x3	45L	N		Y
Wat fio	<i>Waterhousea floribunda</i>	Weeping Lilly Pilly	8x5	45L	Y	Y	
Proposed Shrubs							
Acn smi	<i>Acmena smithii 'Red Tulip'</i>	Lilli Pilli 'Red Tulip'	1x.6	140mm	Y	Y	
Cam pla	<i>Camellia sasanqua 'Plantation Pink'</i>	Sasanqua	3x2	200mm		Y	
Rap exc	<i>Rhapis excelsa</i>	Raphis palm	2x2	200mm		Y	
Acn Alf	<i>Acmena smithii 'Allyn Magic'</i>	Lilli Pilli	2x2	200mm	Y	Y	
Pit mis	<i>Pittosporum 'Miss Muffet'</i>	Pittosporum	.5x.6	200mm		Y	
Tib als	<i>Tibouchina 'Alstonville'</i>	Tibouchina	4x6	45L		Y	
Vib Eme	<i>Viburnum odoratissimum 'Emerald lustr'</i>	Viburnum	3x2	200mm		Y	
Aza Alp	<i>Azalea 'Alphonse Anderson'</i>	Azalea	1x1	200mm		Y	
Gar mag	<i>Gardenia augusta 'Magnifica'</i>	Gardenia	1x1	200mm		Y	
Met tho	<i>Metrosideros thomsonii</i>	Christmas Bush	1x.6	45L		Y	

Proposed Grasses, Sedges and Climbers

Aju rep	<i>Ajuga reptans</i>	Bugle weed	.3x1m	140mm		Y	
Lir eve	<i>Liriope evergreen giant</i>	Liriope	.5x.5m	140mm		Y	
Knf uva	<i>Knifophia uvaria var. maxima</i>	Red Hot Poker	.8x.6	140mm		Y	
Hem bai	<i>Homorocalis 'Baldone'</i>	Day Lily	.5x.6	140mm		Y	
Zep can	<i>Zephyranthes candida</i>	Autumn crocus	.3x.4	140mm		Y	
Aga pra	<i>Agapanthus praecox sp. orientalis</i>	Agapanthus	.4x.4	140mm		Y	
Clf Bel	<i>Clivia 'Belgium Hybrid'</i>	Clivia	.5x.5	140mm		Y	
Dia cae	<i>Dianella caerulea</i>	Flax lily	.7x.7	hiko	Y	Y	
Dia cas	<i>Dianella caerulea 'Cassa Blue'</i>	Cassa blue	.5x.5	hiko	Y	Y	
Dia lit	<i>Dianella revoluta 'Little Rev'</i>	Blue flax lily	.7x.7	hiko	Y	Y	
Dia tas	<i>Dianella revoluta 'Tas Red'</i>	Tas Red	.6x.5	hiko	Y	Y	
Dia uto	<i>Dianella pruriina 'Utopia'</i>	Flax Lily	.9x.9	hiko	Y	Y	
Hed hel	<i>Hedera helix</i>	Common Ivy	4 x 15	140mm		Y	
Wis jap	<i>Wisteria japonica</i>	Wisteria	.3x.3	140mm			Y
Turf							
	Soft Leaf Buffalo "Sir Walter"	"Sir Walter"		Rolls		Y	

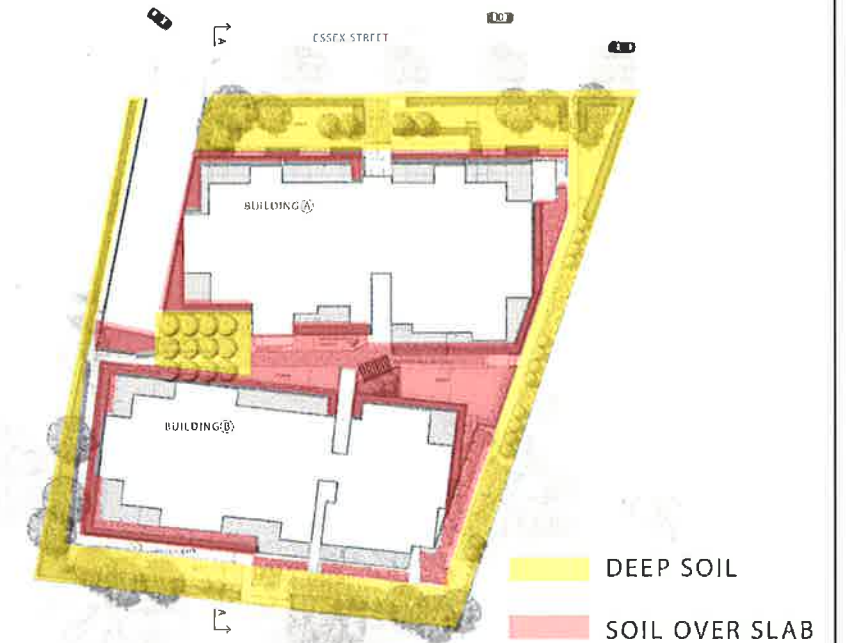


DIAGRAM SOIL DEPTH

Rev	Description	By	Date	Disclaimer	Notes	Consultants	Client	Architects	Landscape Architects	Project	Key plan	Scale	Uses
A	ISSUE FOR DA	GP	09.02.2015				Lennon Project Management Pty Ltd	tony owen pdr	PdS	ESSEX STREET		1:150 @ A1	USE 1
B	AMENDMENTS	GP	26.02.16				PO Box 402 Forrest Hill NSW 2007 T: 02 9402 0500 M: +61 406 047 711			Project address			USE 2
C	AMENDMENTS	GP	26.04.16							22-26 Essex St, Epping			USE 3

4
D.P.7325

52
D.P.839706

72
D.P.1085149

- LEGEND:-**
- SWP denotes STORMWATER PIT
SMH denotes SEWER MAN HOLE
SL denotes SURFACE LEVEL
IL denotes INVERT LEVEL
VC denotes VEHICLE CROSSING
TK denotes TOP OF KERB
D:SH denotes DIAMETER, SPREAD and HEIGHT of TREE
BM denotes BENCH MARK
TEL denotes TELSTRA PIT
HYD denotes HYDRANT
PP denotes POWER POLE
WM denotes WATER METER
- GENERAL NOTES:-**
1. THE BOUNDARIES OF THE LAND HAVE NOT BEEN SURVEYED. FEATURES SHOWN ON THE PLAN HAVE BEEN PLOTTED IN RELATION TO THE OCCUPATIONS.
 2. ONLY THOSE SERVICES VISIBLE AT THE TIME OF SURVEY HAVE BEEN LOCATED.
 3. UNDERGROUND SERVICES HAVE BEEN PLOTTED FROM DIAL BEFORE YOU DIG PLANS. THE RELEVANT AUTHORITIES MUST BE CONTACTED TO DETERMINE THE FULL EXTENT OF SERVICES PRIOR TO ANY WORKS ON OR NEAR THE SITE.
 4. ONLY TREES GREATER THAN 3.5 METRES IN HEIGHT ARE SHOWN ON THIS PLAN AND THEIR POSITION IS DIAGRAMMATIC ONLY AND MAY REQUIRE ADDITIONAL SURVEY WHERE CRITICAL TO DESIGN.
 5. CONTOURS ARE INDICATIVE AT GROUND FORM ONLY. SPOTS LEVELS ONLY SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
 6. CONTOUR INTERVAL 0.5 m.
 7. ALL SETOUT LEVELS MUST BE REFERRED TO THE BENCH MARK.
 8. THE ORIENTATION OF THIS PLAN IS APPROXIMATE TRUE NORTH BASED ON THE ASSUMPTION THAT THE VARIATION OF TRUE NORTH TO MAGNETIC NORTH IS 9°38'. THIS HAS NOT BEEN VERIFIED AS PART OF THIS PLAN AND SHOULD YOU REQUIRE A MORE ACCURATE DETERMINATION OF TRUE NORTH A FURTHER SURVEY IS NECESSARY.
 9. AFFECTING LOT 11 IN DP 7325 IS
• COVENANT AS SETOUT IN TRANSFER No A754712
AFFECTING LOT D IN DP 367350 IS
• COVENANT AS SETOUT IN TRANSFER No B363302
AFFECTING LOTS 1-3 IN DP 857412 ARE
• COVENANT AS SETOUT IN TRANSFER No A214882 AND B363302
 10. THERE ARE OTHER INTERNAL EASEMENTS AFFECTING TITLE THAT WILL BE EXTINGUISHED AT CONSOLIDATION OF LOTS

NOTE
THERE APPEARS TO BE A 6000A STORMWATER DRAINAGE PIPE THROUGH THE SUBJECT LAND THAT IS NOT COVERED BY AN EASEMENT. THE EXTENT OF THIS PIPE REQUIRES FURTHER VERIFICATION OF ITS LOCATION



UNDERGROUND SERVICES

— S — UNDERGROUND SEWERMAIN
— W — UNDERGROUND WATERMAIN
— G — UNDERGROUND GASMAIN
— T — UNDERGROUND TELSTRA COMMUNICATIONS CABLES
— SW — UNDERGROUND STORMWATER PIPE
— — OVERHEAD POWERLINES

APPROXIMATE POSITION ONLY VIDE DIAL BEFORE YOU DIG PLANS
JOB No 8607862 WHERE CRITICAL TO DESIGN UNDERGROUND SERVICES SHOULD BE LOCATED BY GROUND PENETRATING RADAR PRIOR TO DESIGN OR EXCAVATION

ISSUE	DATE	AMENDMENT
A	05/12/2014	ORIGINAL SURVEY

CLIENT:
YUE HAO LAND UNIT TRUST

SCALE: 1:150
ORIGIN OF LEVELS:
SSM 121036
RL 103.049

DATUM:
A.H.D.

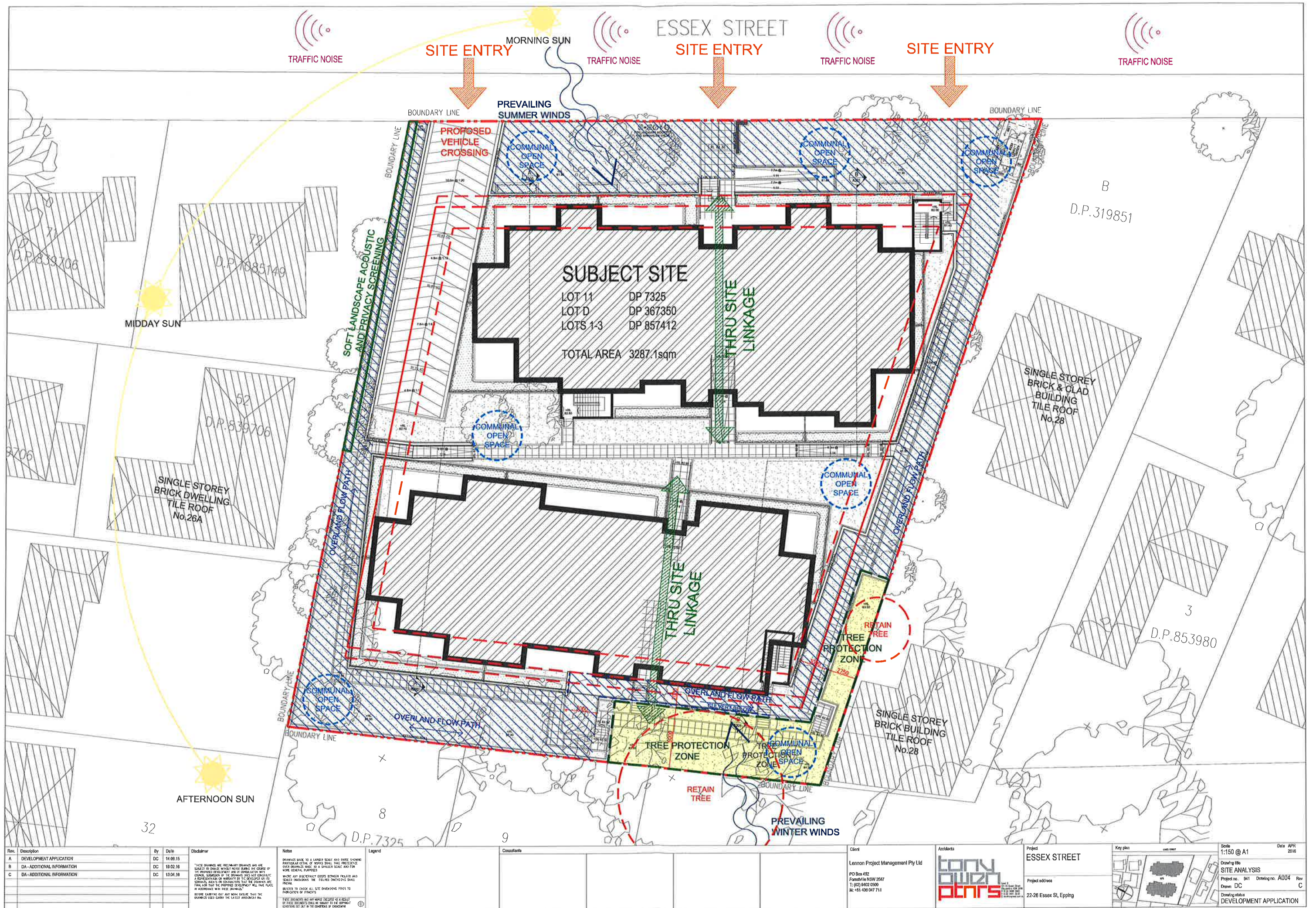
DETAIL & LEVEL SURVEY LOT 11 IN DP7325,
LOT D IN DP 367350 & LOTS 1-3 IN DP857412
22-26 ESSEX STREET, EPPING NSW

REF: 6496
DATE: 05/12/2014
SURV/CHKMD /GE
SHEET 1 OF 1 SHEETS

PLAN
A1
ISSUE
A

OSDG
LAND DEVELOPMENT SOLUTIONS
A.M. 88 218 882 881

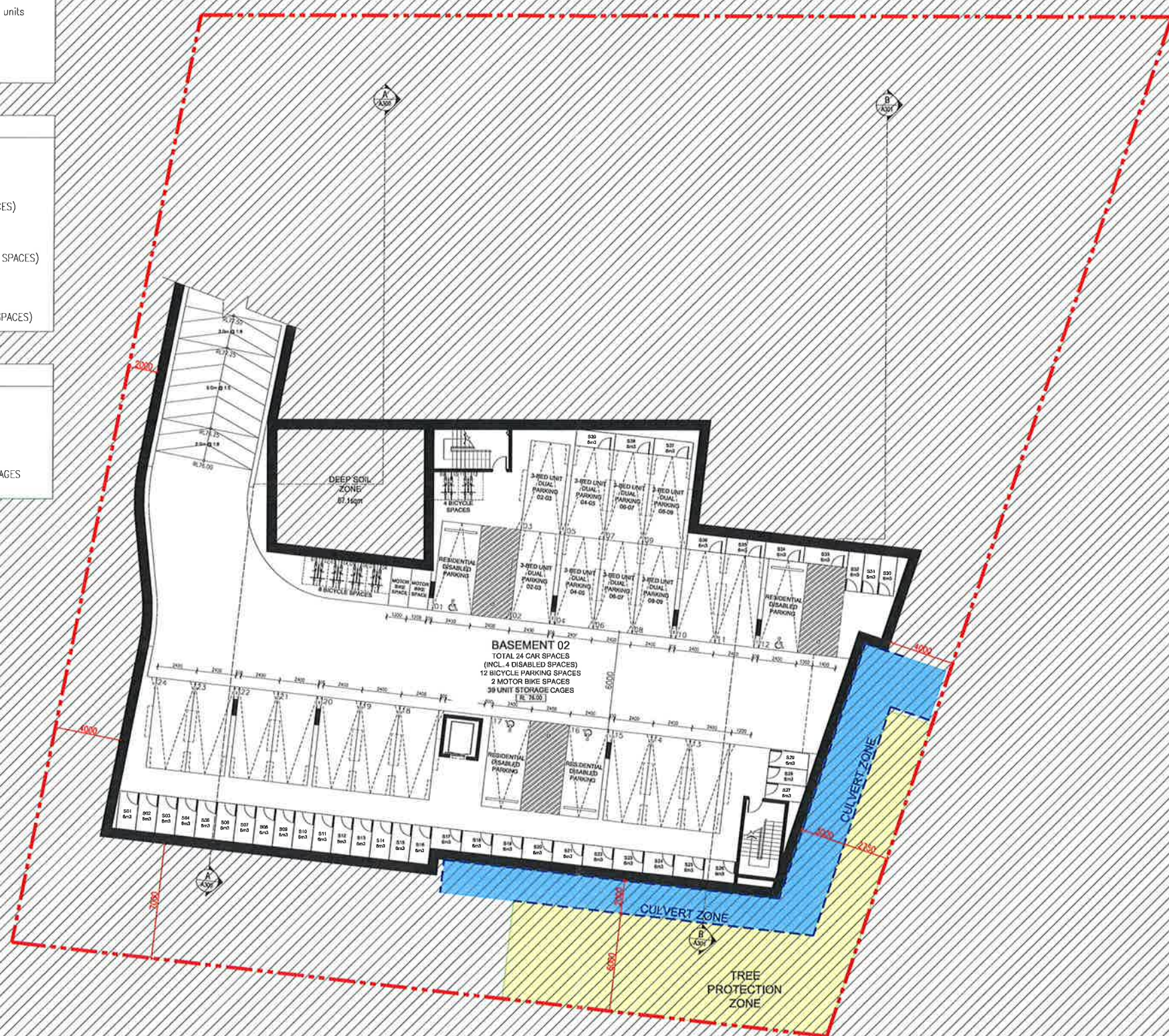
Unit 7 1B Kuhn Road
NORTHMEAD 2102
P.O. Box 2072
NORTH PARAMATTA 1702
©COPYRIGHT
OSDG is the owner of the copyright subsisting
in these drawings, plans, designs and
all (OO) 8800 specifications. They must not be used, reproduced
or modified in whole or in part without prior written
consent of OSDG

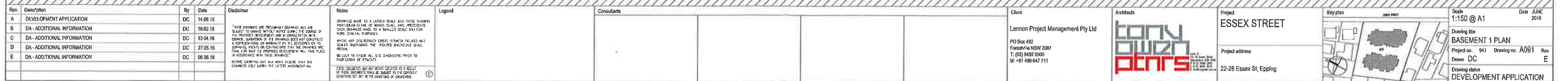


CARPARK DCP REQUIREMENTS		
CLASSIFICATION	R4 MEDIUM & HIGH DENSITY DEVELOPMENTS - SITES WITHIN 800M FROM RAILWAY STATION (EPPING STATION)	
1C.2.1 CAR PARKING RATES	0-1 BEDROOM 2 BEDROOMS 3 or more BEDROOMS VISITORS	0.75 car space / dwelling 1 car space / dwelling 1.5 car spaces / dwelling 1 car space per 7 dwellings
1C.2.2 ACCESSIBLE DESIGN	RESIDENTIAL VISITORS	at least 1/3 of adaptable units 10% of visitor parking
1C.2.1 BICYCLE PARKING RATES	RESIDENTIAL VISITORS	1 space per 5 units 1 space per 10 units

CARPARK CALCULATION				
CAR PARKING RATES	1 BEDROOM	(14)	=	10.50
	2 BEDROOMS	(43)	=	43.00
	3 BEDROOMS	(7)	=	10.50
	VISITORS	(64)	=	9.14
	TOTAL REQ.	=	75.14 (76 CAR SPACES)	
ACCESSIBLE PARKING RATES	RESIDENTIAL	(21)	=	7.00
	VISITORS	(10)	=	1.00
	TOTAL REQ.	=	8.00 (8 ACCESSIBLE SPACES)	
BICYCLE PARKING RATES	RESIDENTIAL	(64)	=	12.80
	VISITORS	(64)	=	6.40
	TOTAL REQ.	=	19.20 (20 BICYCLE SPACES)	

PROPOSED CARPARK NUMBERS			
	<u>BASEMENT 2</u>	<u>BASEMENT 1</u>	<u>TOTAL</u>
CAR PARKING (DISABLED SPACES)	24 (4)	52 (4)	76 SPACES (8 SPACES)
BICYCLE PARKING	12	10	22 SPACES
UNIT STORAGE CAGES	39	25	64 STORAGE CAGES

[illegible]

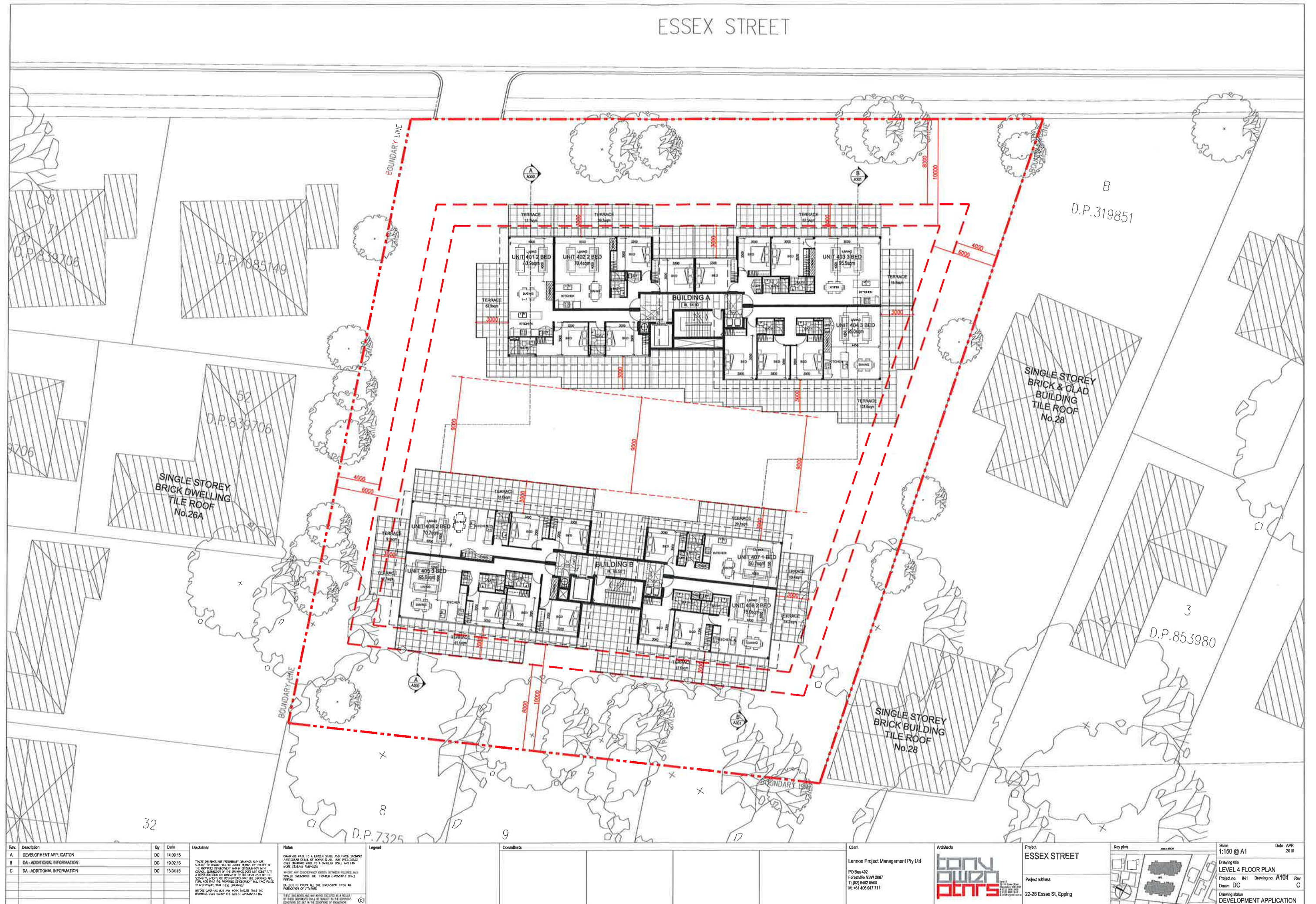


PROPOSED
DRIVEWAY

[illegible]

A	Description	By	Date	Disclaimer	Notes	Legend	Consultants				Client	Architects	Project	Key plan	Scale	Date
B	DEVELOPMENT APPLICATION	DC	14.08.15	THE DRAWING AND ANY INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF PTNRS AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PTNRS.	NOTES MADE TO A LARGER SCALE AND FURTHER CORRECTING PARTICULAR DETAIL OF WORKS SHALL HAVE PRECEDENCE OVER CHANGES MADE TO A SMALLER SCALE AND FOR MORE GENERAL PURPOSES.	IF YOU DO NOT AGREE WITH ANY OF THE ABOVE, PLEASE CONTACT PTNRS IMMEDIATELY.					Lennan Project Management Pty Ltd	PTNRS	ESSEX STREET		1:150 @ A1	2016
C	DA - ADDITIONAL INFORMATION	DC	19.02.16	THE DRAWING AND ANY INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF PTNRS AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PTNRS.	NOTES MADE TO A LARGER SCALE AND FURTHER CORRECTING PARTICULAR DETAIL OF WORKS SHALL HAVE PRECEDENCE OVER CHANGES MADE TO A SMALLER SCALE AND FOR MORE GENERAL PURPOSES.	IF YOU DO NOT AGREE WITH ANY OF THE ABOVE, PLEASE CONTACT PTNRS IMMEDIATELY.					PO Box 482 Forestville NSW 2087 T: (02) 9402 0900 M: +61 406 047 711	PTNRS	Project address			
D	DA - ADDITIONAL INFORMATION	DC	27.05.16	THE DRAWING AND ANY INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF PTNRS AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PTNRS.	NOTES MADE TO A LARGER SCALE AND FURTHER CORRECTING PARTICULAR DETAIL OF WORKS SHALL HAVE PRECEDENCE OVER CHANGES MADE TO A SMALLER SCALE AND FOR MORE GENERAL PURPOSES.	IF YOU DO NOT AGREE WITH ANY OF THE ABOVE, PLEASE CONTACT PTNRS IMMEDIATELY.							22-26 Essex St, Epping			

ESSEX STREET



Rev.	Description	By	Date	Discriminator	Notes	Legend	Consultants	Client	Architects	Project	Key plan	Scale	Date
A	DEVELOPMENT APPLICATION	DC	14.09.15					Lennon Project Management Pty Ltd	tony o'neill architects	ESSEX STREET		1:150 @ A1	APR 2015
B	DA - ADDITIONAL INFORMATION	DC	19.02.16					PO Box 492 Forestville NSW 2087 T: (02) 9402 0500 M: +61 400 047 711		Project address 22-28 Essex St, Epping			
C	DA - ADDITIONAL INFORMATION	DC	13.04.16										

NOTES

1. THESE DRAWINGS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT AGREES TO HOLD THE ARCHITECT HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR IN CONNECTION WITH THE CLIENT'S USE OF THESE DRAWINGS.

2. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY OTHER DEVELOPMENT OR PROPOSAL IN THE VICINITY OF THE SITE THAT MAY AFFECT THE PROPOSED DEVELOPMENT.

3. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY OTHER DEVELOPMENT OR PROPOSAL IN THE VICINITY OF THE SITE THAT MAY AFFECT THE PROPOSED DEVELOPMENT.

4. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY OTHER DEVELOPMENT OR PROPOSAL IN THE VICINITY OF THE SITE THAT MAY AFFECT THE PROPOSED DEVELOPMENT.

5. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY OTHER DEVELOPMENT OR PROPOSAL IN THE VICINITY OF THE SITE THAT MAY AFFECT THE PROPOSED DEVELOPMENT.

LEGEND

1. EXISTING BUILDING

2. PROPOSED BUILDING

3. PROPOSED TERRACE

4. PROPOSED STAIRS

5. PROPOSED DRIVEWAY

6. PROPOSED PARKING

7. PROPOSED LANDSCAPE

8. PROPOSED FENCE

9. PROPOSED GATE

10. PROPOSED SIGN

11. PROPOSED LIGHTING

12. PROPOSED SECURITY

13. PROPOSED FURNITURE

14. PROPOSED PLANTING

15. PROPOSED WATER

16. PROPOSED ELECTRICAL

17. PROPOSED MECHANICAL

18. PROPOSED COMMUNICATIONS

19. PROPOSED OTHER

CLIENT

Lennon Project Management Pty Ltd

ARCHITECTS

tony o'neill architects

PROJECT

ESSEX STREET

KEY PLAN

Scale 1:150 @ A1

Date APR 2015

Drawing title

LEVEL 4 FLOOR PLAN

Project no. 041 Drawing no. A104 Rev C

Drawn DC

Drawing status

DEVELOPMENT APPLICATION

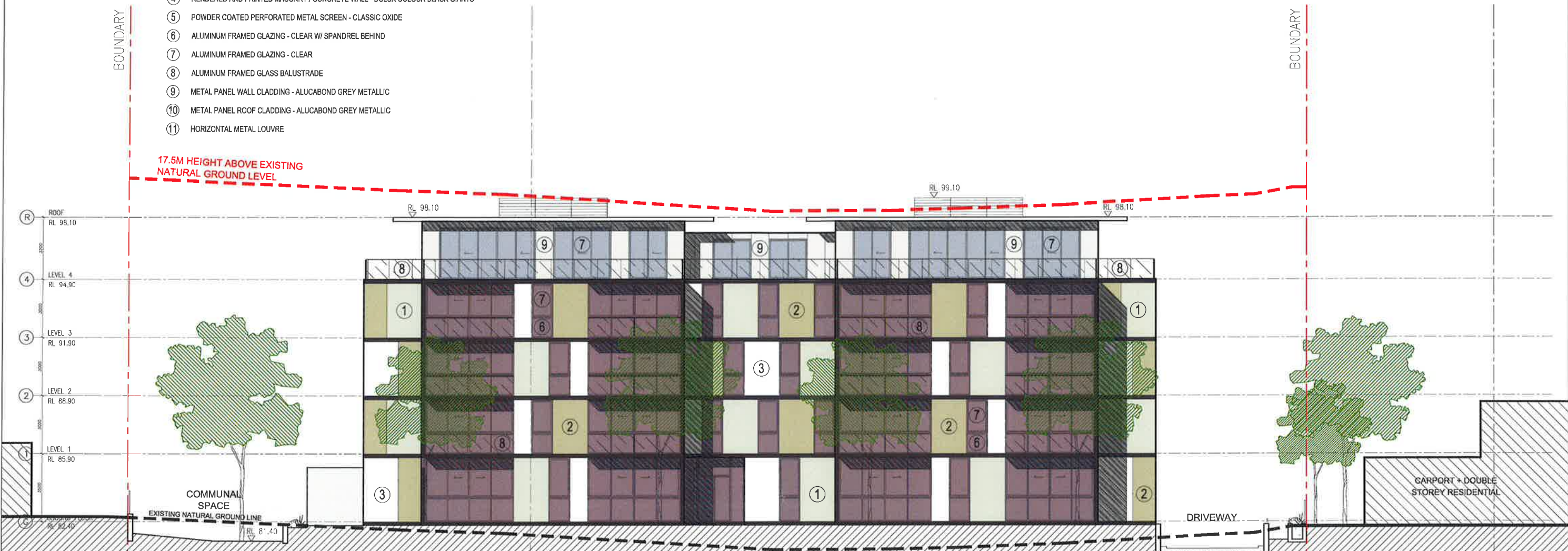


Rev.	Description	By	Date	Designer	Notes	Legend	Consultants	Client	Architect	Project	Key plan	Scale	Date
A	DEVELOPMENT APPLICATION	DC	14.06.15		THESE DRAWINGS ARE PRELIMINARY SKETCHES AND ARE SUBJECT TO CHANGE WITHOUT NOTICE DURING THE COURSE OF ANY PROPOSED DEVELOPMENT AND IN CONSULTATION WITH THE LOCAL COUNCIL. THE DRAWINGS DO NOT CONSTITUTE A REPRESENTATION OR WARRANTY BY THE ARCHITECT OR HIS/HERS. AGENTS OF CONTRACTORS THAT THE DRAWINGS ARE FOR THE USE OF THE PROPOSED DEVELOPMENT ONLY. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY OTHER USES OF THE DRAWINGS.			Lennon Project Management Pty Ltd PO Box 492 Forestville NSW 2087 T: (02) 9402 0506 M: +61 428 047 711	tony owen planners	ESSEX STREET		1:150 @ A1	APR 2016
B	DA - ADDITIONAL INFORMATION	DC	18.02.16		WHERE ANY DISCREPANCY EXISTS BETWEEN FIGURES AND WORDS, THE FIGURES SHALL PREVAIL. THE FIGURES SHOWN ON THIS DRAWING SHALL BE USED FOR THE PURPOSES OF THE DEVELOPMENT ONLY. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY OTHER USES OF THE DRAWINGS.					Project address 22-26 Essex St, Epping		Drawing no. A110 Rev C	
C	DA - ADDITIONAL INFORMATION	DC	13.01.16		PLEASE DO NOT SCALE ANY DIMENSIONS FROM THIS DRAWING. ALL DIMENSIONS SHALL BE GIVEN IN METERS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY OTHER USES OF THE DRAWINGS.							Drawing status DEVELOPMENT APPLICATION	

EXTERNAL MATERIAL FINISHES

- ① RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR SOFT BEIGE
- ② RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR BUFFHIDE
- ③ RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR NATURAL WHITE
- ④ RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR BLACK GIANTS
- ⑤ POWDER COATED PERFORATED METAL SCREEN - CLASSIC OXIDE
- ⑥ ALUMINUM FRAMED GLAZING - CLEAR W/ SPANDREL BEHIND
- ⑦ ALUMINUM FRAMED GLAZING - CLEAR
- ⑧ ALUMINUM FRAMED GLASS BALUSTRADE
- ⑨ METAL PANEL WALL CLADDING - ALUCABOND GREY METALLIC
- ⑩ METAL PANEL ROOF CLADDING - ALUCABOND GREY METALLIC
- ⑪ HORIZONTAL METAL LOUVRE

17.5M HEIGHT ABOVE EXISTING
NATURAL GROUND LEVEL



BUILDING A - EAST ELEVATION

Rev.	Description	By	Date	Disclaimer	Notes	Legend	Consultants	Client	Architects	Project	Key plan	Scale	Date
A	DEVELOPMENT APPLICATION	DC	14.09.15					Lennon Project Management Pty Ltd	tony o'neill architects	ESSEX STREET		1:100 @ A1	APR 2015
B	DA - ADDITIONAL INFORMATION	DC	19.02.16					PO Box 402 Forestville NSW 2087 T: (02) 9402 0500 M: +61 408 047 711		22-26 Essex St, Epping			
C	DA - ADDITIONAL INFORMATION	DC	13.04.18										

THIS DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CLIENT TO OBTAIN ALL NECESSARY APPROVALS AND TO ENSURE THAT THE DESIGN IS COMPLETED AND ACCURATE. THE ARCHITECTS ACCEPT NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. THE CLIENT IS ADVISED THAT THE ARCHITECTS ARE NOT RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURAL ELEMENTS OR FOR THE DESIGN OF ANY SERVICES OR UTILITIES. THE ARCHITECTS ACCEPT NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. THE CLIENT IS ADVISED THAT THE ARCHITECTS ARE NOT RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURAL ELEMENTS OR FOR THE DESIGN OF ANY SERVICES OR UTILITIES.

THESE DIMENSIONS ARE PRELIMINARY DIMENSIONS AND ARE SUBJECT TO CHANGE. THE ARCHITECTS ACCEPT NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. THE CLIENT IS ADVISED THAT THE ARCHITECTS ARE NOT RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURAL ELEMENTS OR FOR THE DESIGN OF ANY SERVICES OR UTILITIES.

THESE DIMENSIONS ARE PRELIMINARY DIMENSIONS AND ARE SUBJECT TO CHANGE. THE ARCHITECTS ACCEPT NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. THE CLIENT IS ADVISED THAT THE ARCHITECTS ARE NOT RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURAL ELEMENTS OR FOR THE DESIGN OF ANY SERVICES OR UTILITIES.

Client: Lennon Project Management Pty Ltd

Architects: tony o'neill architects

Project: ESSEX STREET

Key plan: [Key plan showing building location on site]

Scale: 1:100 @ A1

Date: APR 2015

Drawing title: BUILDING A - EAST ELEVATION

Project no.: 041 Drawing no.: A200 Rev: C

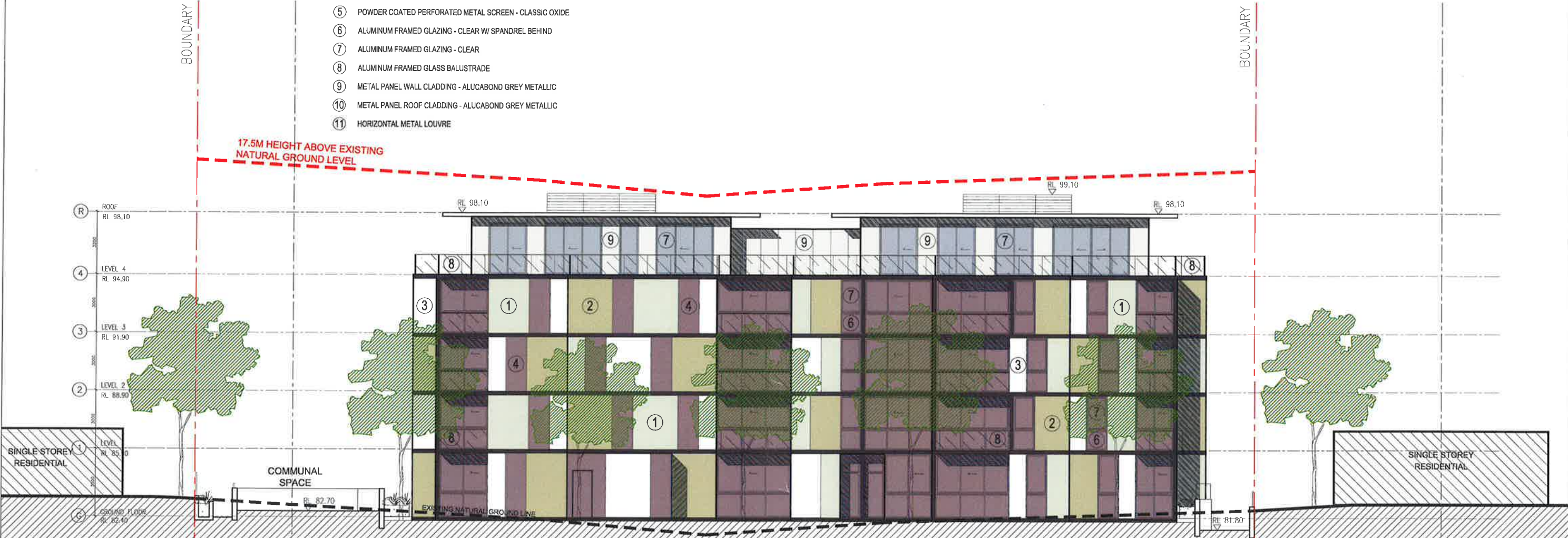
Drawn: DC

Drawing status: DEVELOPMENT APPLICATION

EXTERNAL MATERIAL FINISHES

- ① RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR SOFT BEIGE
- ② RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR BUFFHIDE
- ③ RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR NATURAL WHITE
- ④ RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR BLACK GIANTS
- ⑤ POWDER COATED PERFORATED METAL SCREEN - CLASSIC OXIDE
- ⑥ ALUMINUM FRAMED GLAZING - CLEAR W/ SPANDREL BEHIND
- ⑦ ALUMINUM FRAMED GLAZING - CLEAR
- ⑧ ALUMINUM FRAMED GLASS BALUSTRADE
- ⑨ METAL PANEL WALL CLADDING - ALUCABOND GREY METALLIC
- ⑩ METAL PANEL ROOF CLADDING - ALUCABOND GREY METALLIC
- ⑪ HORIZONTAL METAL LOUVRE

17.5M HEIGHT ABOVE EXISTING
NATURAL GROUND LEVEL



BUILDING A - WEST ELEVATION

Rev	Description	By	Date	Disclaimer	Note	Legend	Comments	Client	Architects	Project	Key plan	Scale	Date
A	DEVELOPMENT APPLICATION	DC	18.08.15					Lennon Project Management Pty Ltd	tony blund	ESSEX STREET		1:100 @ A1	APR 2016
B	DA - ADDITIONAL INFORMATION	DC	19.02.16					PO Box 492 Forestville NSW 2067 T: (02) 9402 1500 M: +61 400 047 711		22-26 Essex St, Epping			
C	DA - ADDITIONAL INFORMATION	DC	13.04.16										
										Drawing title BUILDING A - WEST ELEVATION		Project no. 941 Drawing no. A201 Rev C	
										Drawing status DEVELOPMENT APPLICATION			

EXTERNAL MATERIAL FINISHES

- ① RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR SOFT BEIGE
- ② RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR BUFFHIDE
- ③ RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR NATURAL WHITE
- ④ RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR BLACK GIANTS
- ⑤ POWDER COATED PERFORATED METAL SCREEN - CLASSIC OXIDE
- ⑥ ALUMINUM FRAMED GLAZING - CLEAR W/ SPANDREL BEHIND
- ⑦ ALUMINUM FRAMED GLAZING - CLEAR
- ⑧ ALUMINUM FRAMED GLASS BALUSTRADE
- ⑨ METAL PANEL WALL CLADDING - ALUCABOND GREY METALLIC
- ⑩ METAL PANEL ROOF CLADDING - ALUCABOND GREY METALLIC
- ⑪ HORIZONTAL METAL LOUVRE



BUILDING B - EAST ELEVATION

Rev	Description	By	Date	Discipline	Notes	Legend	Consultants	Client	Architects	Project	Key plan	Scale	Date
A	DEVELOPMENT APPLICATION	DC	14.09.15					Lennon Project Management Pty Ltd	tony dunn architects	ESSEX STREET		1:100 @ A1	APR 2016
B	DA - ADDITIONAL INFORMATION	DC	19.02.16					PO Box 492 Forestville NSW 2087 T: (02) 9402 0500 M: +61 408 047 711		Project address 22-26 Essex St, Epping			
C	DA - ADDITIONAL INFORMATION	DC	19.04.16										

NOTES

1. THESE DRAWINGS ARE PRELIMINARY PROPOSALS AND ARE SUBJECT TO CHANGE WITHOUT NOTICE DURING THE COURSE OF THE PROJECT. ANY CHANGES WILL BE NOTIFIED BY A REVISION TO THESE DRAWINGS.

2. WHERE ANY DISCREPANCY EXISTS BETWEEN THESE AND ANY OTHER DRAWINGS, THE DRAWINGS SHALL PREVAIL.

3. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

4. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

5. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

LEGEND

1. EXISTING MASONRY

2. NEW MASONRY

3. GLAZING

4. BALUSTRADE

5. LOUVRE

CONSULTANTS

1. STRUCTURAL ENGINEER

2. CIVIL ENGINEER

3. ELECTRICAL ENGINEER

4. MECHANICAL ENGINEER

5. PLUMBING ENGINEER

CLIENT

Lennon Project Management Pty Ltd

ARCHITECTS

tony dunn architects

PROJECT

ESSEX STREET

KEY PLAN

SCALE

1:100 @ A1

DRAWING TITLE

BUILDING B - EAST ELEVATION

PROJECT NO.

941

DRAWING NO.

A202

REV

C

DRAWING STATUS

DEVELOPMENT APPLICATION

EXTERNAL MATERIAL FINISHES

- ① RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR SOFT BEIGE
- ② RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR BUFFHIDE
- ③ RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR NATURAL WHITE
- ④ RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR BLACK GIANTS
- ⑤ POWDER COATED PERFORATED METAL SCREEN - CLASSIC OXIDE
- ⑥ ALUMINUM FRAMED GLAZING - CLEAR W/ SPANDREL BEHIND
- ⑦ ALUMINUM FRAMED GLAZING - CLEAR
- ⑧ ALUMINUM FRAMED GLASS BALUSTRADE
- ⑨ METAL PANEL WALL CLADDING - ALUCABOND GREY METALLIC
- ⑩ METAL PANEL ROOF CLADDING - ALUCABOND GREY METALLIC
- ⑪ HORIZONTAL METAL LOUVRE



BUILDING B - WEST ELEVATION

Rev.	Description	By	Date	Discipline	Notes	Legend	Consultants	Client	Architects	Project	Key plan	Scale	Date
A	DEVELOPMENT APPLICATION	DC	14.09.15		THREE DRAWINGS ARE PREPARED BY THE ARCHITECT AND ARE SUBJECT TO THE ARCHITECT'S REVIEW. THE ARCHITECT'S REVIEW IS A REPRESENTATION OF THE ARCHITECT'S REVIEW. THE ARCHITECT'S REVIEW IS A REPRESENTATION OF THE ARCHITECT'S REVIEW. THE ARCHITECT'S REVIEW IS A REPRESENTATION OF THE ARCHITECT'S REVIEW.			Lennon Project Management Pty Ltd	tony dunn architects	ESSEX STREET		1:100 @ A1	APR 2015
B	DA - ADDITIONAL INFORMATION	DC	19.02.16		THREE DRAWINGS ARE PREPARED BY THE ARCHITECT AND ARE SUBJECT TO THE ARCHITECT'S REVIEW. THE ARCHITECT'S REVIEW IS A REPRESENTATION OF THE ARCHITECT'S REVIEW. THE ARCHITECT'S REVIEW IS A REPRESENTATION OF THE ARCHITECT'S REVIEW. THE ARCHITECT'S REVIEW IS A REPRESENTATION OF THE ARCHITECT'S REVIEW.			PO Box 492 Fremantle NSW 2007 T: (02) 9402 0500 M: +61 400 047 711		22-26 Essex St, Epping			
C	DA - ADDITIONAL INFORMATION	DC	13.04.16		THREE DRAWINGS ARE PREPARED BY THE ARCHITECT AND ARE SUBJECT TO THE ARCHITECT'S REVIEW. THE ARCHITECT'S REVIEW IS A REPRESENTATION OF THE ARCHITECT'S REVIEW. THE ARCHITECT'S REVIEW IS A REPRESENTATION OF THE ARCHITECT'S REVIEW. THE ARCHITECT'S REVIEW IS A REPRESENTATION OF THE ARCHITECT'S REVIEW.								

EXTERNAL MATERIAL FINISHES

- ① RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR SOFT BEIGE
- ② RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR BUFFHIDE
- ③ RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR NATURAL WHITE
- ④ RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR BLACK GIANTS
- ⑤ POWDER COATED PERFORATED METAL SCREEN - CLASSIC OXIDE
- ⑥ ALUMINUM FRAMED GLAZING - CLEAR W/ SPANDREL BEHIND
- ⑦ ALUMINUM FRAMED GLAZING - CLEAR
- ⑧ ALUMINUM FRAMED GLASS BALUSTRADE
- ⑨ METAL PANEL WALL CLADDING - ALUCABOND GREY METALLIC
- ⑩ METAL PANEL ROOF CLADDING - ALUCABOND GREY METALLIC
- ⑪ HORIZONTAL METAL LOUVRE

17.5M HEIGHT ABOVE EXISTING
NATURAL GROUND LEVEL

ESSEX STREET

COMMUNAL SPACE

COMMUNAL SPACE

COMMUNAL SPACE

BUILDING A

BUILDING B

BUILDING A + B - NORTH ELEVATION

Rev.	Description	By	Date	Discipline	Notes	Legend	Consultants	Client	Architects	Project	Key plan	Scale	Date
A	DEVELOPMENT APPLICATION	DC	14.05.15		THIS DRAWING IS PRELIMINARY AND NOT BE USED FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CLIENT TO ENSURE THAT THE INFORMATION PROVIDED IS ACCURATE AND COMPLETE. ANY CHANGES TO THE DRAWING SHALL BE MADE BY THE CLIENT AND NOTED ON THE DRAWING.			Lennon Project Management Pty Ltd	tony dunn architects	ESSEX STREET		1:100 @ A1	2016
B	DA - ADDITIONAL INFORMATION	DC	19.02.16		THIS DRAWING IS PRELIMINARY AND NOT BE USED FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CLIENT TO ENSURE THAT THE INFORMATION PROVIDED IS ACCURATE AND COMPLETE. ANY CHANGES TO THE DRAWING SHALL BE MADE BY THE CLIENT AND NOTED ON THE DRAWING.								
C	DA - ADDITIONAL INFORMATION	DC	13.04.16		THIS DRAWING IS PRELIMINARY AND NOT BE USED FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CLIENT TO ENSURE THAT THE INFORMATION PROVIDED IS ACCURATE AND COMPLETE. ANY CHANGES TO THE DRAWING SHALL BE MADE BY THE CLIENT AND NOTED ON THE DRAWING.								

- ① RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR SOFT BEIGE
- ② RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR BUFFHIDE
- ③ RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR NATURAL WHITE
- ④ RENDERED AND PAINTED MASONRY / CONCRETE WALL - DULUX COLOUR BLACK GIANTS
- ⑤ POWDER COATED PERFORATED METAL SCREEN - CLASSIC OXIDE
- ⑥ ALUMINUM FRAMED GLAZING - CLEAR W/ SPANDREL BEHIND
- ⑦ ALUMINUM FRAMED GLAZING - CLEAR
- ⑧ ALUMINUM FRAMED GLASS BALUSTRADE
- ⑨ METAL PANEL WALL CLADDING - ALUCABOND GREY METALLIC
- ⑩ METAL PANEL ROOF CLADDING - ALUCABOND GREY METALLIC
- ⑪ HORIZONTAL METAL LOUVRE

⑤ POWDER COATED PERFORATED METAL SCREEN - CLASSIC OXIDE
 ⑥ ALUMINUM FRAMED GLAZING - CLEAR W/ SPANDREL BEHIND
 ⑦ ALUMINUM FRAMED GLAZING - CLEAR
 ⑧ ALUMINUM FRAMED GLASS BALUSTRADE
 ⑨ METAL PANEL WALL CLADDING - ALUCABOND GREY METALLIC
 ⑩ METAL PANEL ROOF CLADDING - ALUCABOND GREY METALLIC
 ⑪ HORIZONTAL METAL LOUVRE

17.5M HEIGHT ABOVE EXISTING NATURAL GROUND LEVEL

ROOF RL 99.20
 LEVEL 4 RL 96.00
 LEVEL 3 RL 93.00
 LEVEL 2 RL 90.00
 LEVEL 1 RL 87.00
 GROUND FLOOR RL 85.50

COMMUNAL SPACE

BUILDING B

ESSEX STREET

ROOF RL 98.10
 LEVEL 4 RL 94.90
 LEVEL 3 RL 91.90
 LEVEL 2 RL 88.90
 LEVEL 1 RL 85.90
 GROUND FLOOR RL 83.40

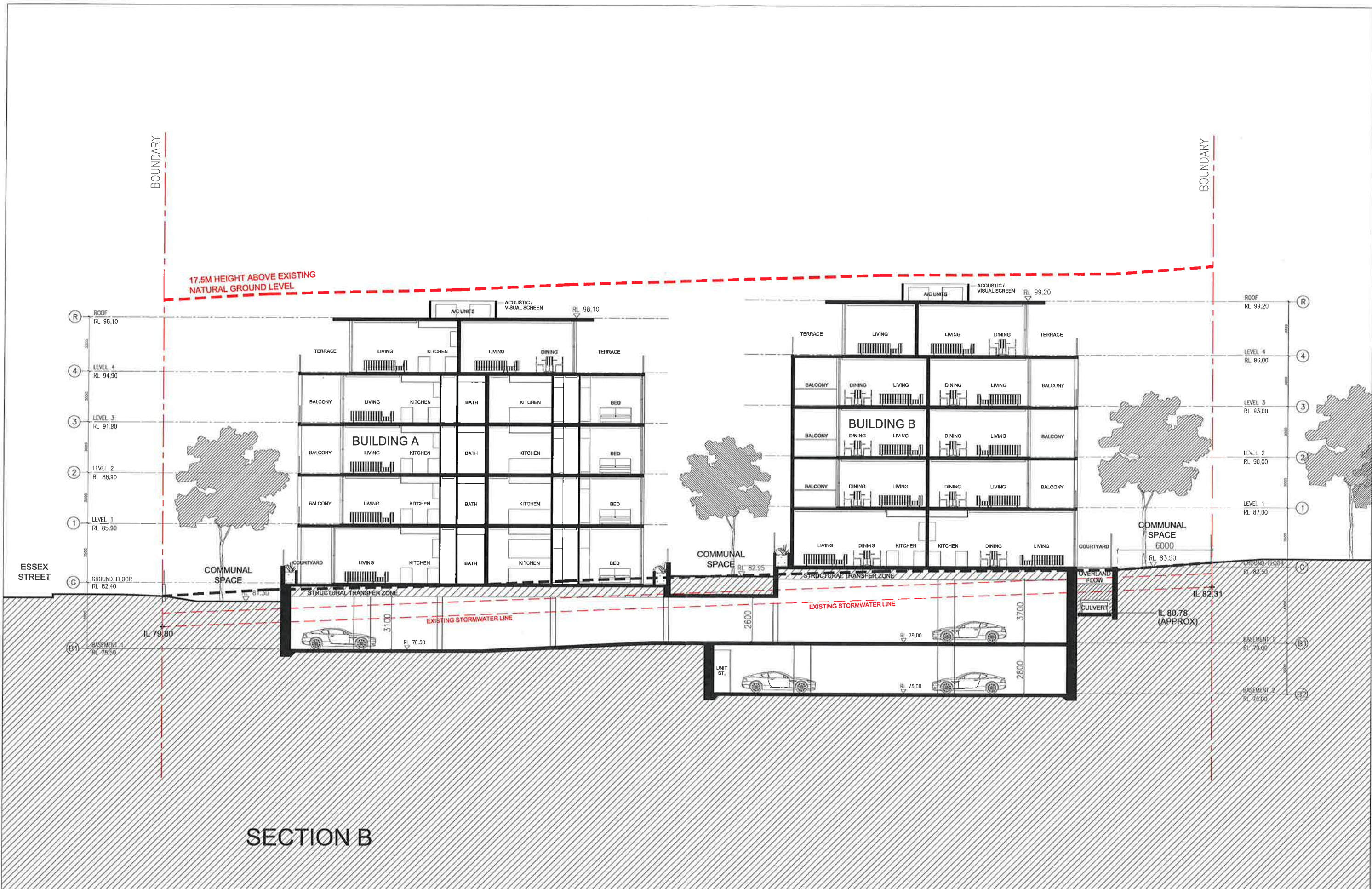
COMMUNAL SPACE

BUILDING A

BUILDING B + A - SOUTH ELEVATION

BUILDING B + A - SOUTH ELEVATION

Rev.	Description	Dt	Date	Drawn by	Notes	Legend	Consultants	Client	Architects	Project	Key plan	Scale	Date	Rev
A	DEVELOPMENT APPLICATION	DC	14.09.15		THE DRAWING IS PRELIMINARY DRAWING AND ARE FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THE ONE FOR WHICH IT WAS PREPARED. THE DRAWING IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THE ONE FOR WHICH IT WAS PREPARED. THE DRAWING IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THE ONE FOR WHICH IT WAS PREPARED.			Lennon Project Management Pty Ltd	ESSEX STREET	Project address	Key plan	Scale	Date	Rev
B	DA - ADDITIONAL INFORMATION	DC	19.02.16		THE DRAWING IS PRELIMINARY DRAWING AND ARE FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THE ONE FOR WHICH IT WAS PREPARED. THE DRAWING IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THE ONE FOR WHICH IT WAS PREPARED. THE DRAWING IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THE ONE FOR WHICH IT WAS PREPARED.			PO Box 492 Frankston NSW 2087 T: (02) 9402 9500 M: +61 408 407 711	ESSEX STREET	Project address	Key plan	Scale	Date	Rev
C	DA - ADDITIONAL INFORMATION	DC	13.04.16		THE DRAWING IS PRELIMINARY DRAWING AND ARE FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THE ONE FOR WHICH IT WAS PREPARED. THE DRAWING IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THE ONE FOR WHICH IT WAS PREPARED. THE DRAWING IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THE ONE FOR WHICH IT WAS PREPARED.				ESSEX STREET	Project address	Key plan	Scale	Date	Rev



SECTION B

Rev.	Description	By	Date	Discipline	Notes	Legend	Consultants	Client	Architects	Project	Key plan	Scale	Date
A	DEVELOPMENT APPLICATION	DC	14.09.15					Lennon Project Management Pty Ltd	tony blundell architects	ESSEX STREET		1:100 @ A1	JUNE 2016
B	DA - ADDITIONAL INFORMATION	DC	19.02.16					PO Box 492 Forestville NSW 2087 T: (02) 9402 0500 M: 451 406 047 711					
C	DA - ADDITIONAL INFORMATION	DC	13.04.16										
D	DA - ADDITIONAL INFORMATION	DC	27.05.16										
E	DA - ADDITIONAL INFORMATION	DC	09.06.16										

These drawings are preliminary and are subject to change without notice during the course of the project development and in consultation with the owner. SEVERAL OF THE DRAWINGS HAVE NOT BEEN CONSULTED BY THE ARCHITECTS OR ENGINEERS. THE ARCHITECTS AND ENGINEERS ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE ARCHITECTS AND ENGINEERS ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE ARCHITECTS AND ENGINEERS ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS.

These drawings are preliminary and are subject to change without notice during the course of the project development and in consultation with the owner. SEVERAL OF THE DRAWINGS HAVE NOT BEEN CONSULTED BY THE ARCHITECTS OR ENGINEERS. THE ARCHITECTS AND ENGINEERS ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE ARCHITECTS AND ENGINEERS ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE ARCHITECTS AND ENGINEERS ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS.

Project no. 941 Drawing no. A301 Rev E

Drawing title: SECTION B

Drawing status: DEVELOPMENT APPLICATION

